

THE CORPORATION OF THE MUNICIPALITY OF MISSISSIPPI MILLS

STAFF REPORT

DATE: April 6, 2021
TO: Committee of the Whole
FROM: Maggie Yet, Planner 1
SUBJECT: **Site Plan Control – 237 Borden Road (Riendeau)**
Part Lot 2, Concession 9
Ramsay Ward, Municipality of Mississippi Mills

KNOWN AS: 237 Borden Road

OWNER: **Kristen & Robert Riendeau (Evergreen Concepts, RoxAnne Darling)**

RECOMMENDATION

THAT Committee of the Whole recommend to Council to approve the site plans for the property described legally as Part Lot 2, Concession 9, Ramsay Ward, Municipality of Mississippi Mills, municipally known as 237 Borden Road;

AND THAT the Mayor and Clerk be authorized to enter into a Site Plan Control Agreement for the proposed works.

BACKGROUND

The applicant has filed a Site Plan Control application for the construction of a single detached dwelling. The lands are zoned “Limited Service Residential” (LSR) and are partially defined within the “Flood Plain” designation which corresponds with the “Environmental Hazard” (EH) Zone. The lands are the subject of Minor Variance application A-10-20 which granted the following relief under Section 6.24(2) of the Zoning By-law:

6.24(2) Except for flood or erosion control works, or a public bridge or a marine facility, development shall be setback a minimum of **22.54m** from the high water mark.

Development of the lands would otherwise be in accordance with the development provisions of the LSR Zone.

DESCRIPTION OF SUBJECT LANDS

The subject property is located on Borden Road within Ramsay Ward and the rear of the property abuts the Mississippi River. The property is $\pm 2,104.4\text{m}^2$ (0.52ac) in size with a frontage of $\pm 30.48\text{m}$ (100ft). The property is presently occupied by a single

detached dwelling with a non-conforming waterbody setback. The proposed dwelling and deck would have a reduced footprint and increase the setback from the high water mark. The property is generally surrounded by low density residential uses. The location of the subject property is depicted in the following aerial photo:

Figure 1 – Aerial Image of Property (2019)



REVIEW

Comments received based on the circulation of this application have been summarized below:

INTERNAL CIRCULATION

CAO: No comments received.

Chief Building Official: No comments received.

Acting Director of Roads and Public Works: This fronts onto a private road. The grading plan looks reasonable, however, consideration should be given to distribution to the MVCA in relations to the distance to the water. The retaining wall would require engineering certification if it is greater than 1m in height.

Fire Chief: No comments received.

Recreation Coordinator: No concerns.

EXTERNAL CIRCULATION

Mississippi Valley Conservation Authority: We understand that the subject Site Plan Control application is a concurrent application with Minor Variance A-10-20. MVCA does not have any further comments, in addition to those provided in our review of the Minor Variance. [Note: MVCA comments attached in Attachment 4. Recommendations by MVCA will be captured as special conditions within the Site Plan Agreement]

Enbridge Gas: No objections.

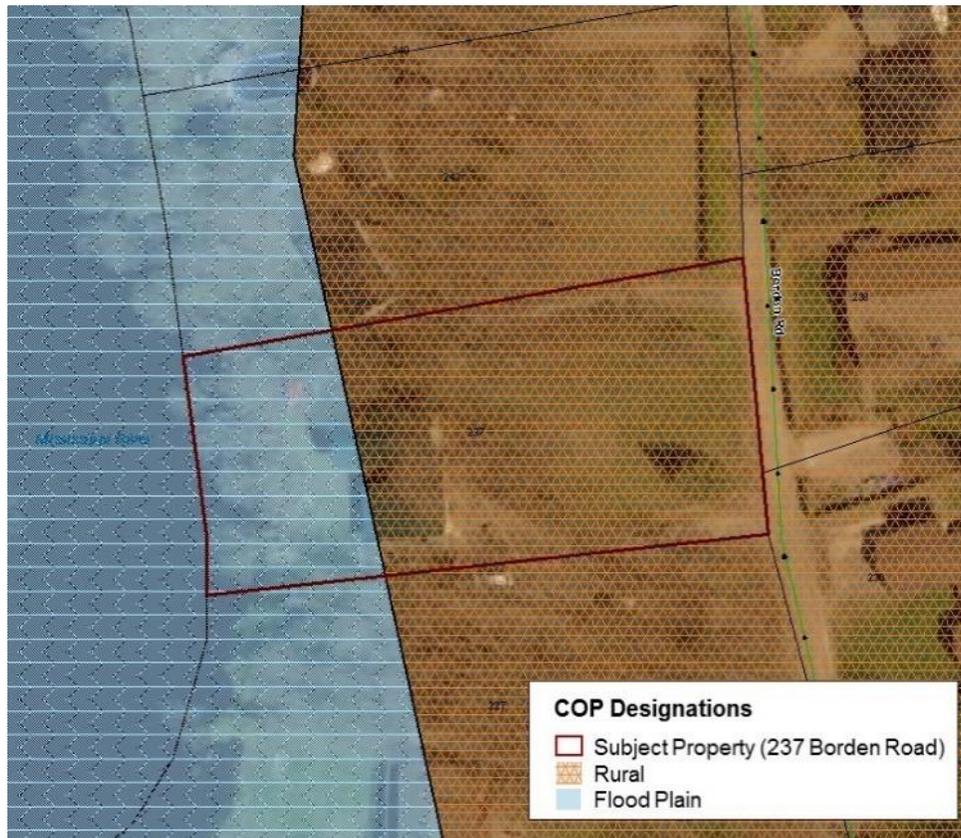
HydroOne: No comments or concerns at this time.

COMMUNITY OFFICIAL PLAN (COP)

The subject lands are designated “Rural” and “Flood Plain” in the Community Official Plan. The Rural designation aims to protect traditional rural land uses and rural character from non-compatible land uses. The Flood Plain designation identifies watersheds within the Municipality and aims to protect environmental features and development from environmental hazards, including flooding.

The existing dwelling is located primarily within the Rural designated lands and a portion of the rear of the dwelling is within the designated Flood Plain. Figure 2 identifies the COP designations of the subject lands:

Figure 2 – COP Designations



The Rural designation permits non-farm residential dwellings and accessory uses in accordance with the Residential policies of the COP. The Flood Plain designation identifies watersheds within the jurisdiction of the Mississippi Valley Conservation Authority. The Floodplain designation permits existing development within the floodplain. Policy 3.1.3.1.3.1 provides the following policy:

3.1.3.1.3.1. *Development shall be located outside of the flood plain or 30 metres from the highwater mark, whichever is greater. The Zoning By-law shall contain specific flood plain setbacks.*

The proposed dwelling would be located outside of the flood plain but would not meet the 30m distance from the high water mark. However, the policy delegates specific setback requirements to the Zoning By-law, which is the appropriate tool for measuring and regulating setback requirements. Furthermore, the proposed dwelling would replace an existing dwelling with a reduced footprint and increased setback from the flood plain than the existing dwelling. Comments from MVCA noted no objections to the application in consideration of the flood plain and slope hazards on the subject property. As such, Staff concludes that the application complies with the general intent of the Official Plan policy to ensure that developments are appropriately setback from flood plain and do not establish unsafe conditions for residents. The owner/applicant will be required to obtain a permit from MVCA for the proposed development.

COMPREHENSIVE ZONING BY-LAW #11-83

The subject property is zoned “Limited Service Residential (LSR)” within the Municipality’s Zoning By-law. The LSR Zone permits single detached dwellings, seasonal detached dwellings and related accessory structures and uses. Development within the LSR Zone is subject to the standards of Section 18.2 for single detached dwellings. The following table outlines the associated zoning provisions and the proposed development specifications.

Development Standard	Section 18.2 Provisions	Proposed Dwelling
Lot Area, min. (m ²)	4,000	212.26*
Lot Frontage, min. (m)	60	33.96*
Front Yard, min. (m)	7.5	29.42
Side Yard, min. (m)	3	3.17
Rear Yard, min. (m)	7.5	22.54
Building Height, max. (m)	11	6.52
Lot Coverage, max. (%)	15	10.05
Floor area, min. (m ²)	75	116

*Note * Permitted under Section 7.3(b) Existing Lots which permits development of existing lots with lesser lot area and/or frontage than required for non-farm residential purposes*

Staff concludes that the development is generally compatible with the requirements for single detached dwellings; thus, meeting the Municipality’s development expectations of the LSR Zone and ensuring adequate living and amenity space for future homeowners and tenants.

Parking

The Zoning By-law required one (1) parking space per dwelling unit. Two (2) parking spaces will be available for the dwelling, thus exceeding the minimum requirements for parking.

Servicing and Grading

The proposed dwelling would be serviced by private well and septic. The owner/applicant will be required to obtain permits from the Leeds, Grenville and Lanark District Health Unit. The Acting Director of Roads and Public Works has indicated no concerns regarding the grading plan, however noted that any retaining wall greater than 1m in height would require engineering certification.

Landscaping

The subject lands is presently occupied by a single detached dwelling. The footprint of the proposed dwelling would be moved further from the flood plain than existing, thereby increasing the safety and security of the proposed dwelling. The lot coverage of the lands will increase from 9.36% (existing) to 10.05% (proposed). Existing landscaping of the subject lands is expected to be maintained as well as an existing driveway. MVCA has recommended that unvegetated sections of the shoreline to be planted with native shrubs to a minimum depth of 3m in order to mitigate the effects of erosion and surface runoff to the river which will be captured in the Site Plan Agreement as a special condition.

Building Configuration/Façade

The elevation drawings depict a one and a half storey frame cottage dwelling. The building façade will consist of canexel siding and fiberglass shingles. The front elevation depicts a front entrance with a covered porch and the rear of the dwelling consists of large windows overlooking the rear of the property. A second level at grade is accessible at the rear of the dwelling through sliding glass doors.

SUMMARY:

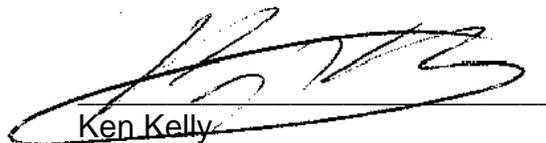
The proposed site plan satisfies the provisions of the Zoning By-law and is consistent with relevant planning policies of the Community Official Plan. Therefore, Staff recommends the approval of the application for the proposed single detached dwelling, subject to the execution of the Site Plan Control Agreement.

Respectfully submitted by,

Reviewed by:



Maggie Yet MPLAN BA
Planner 1



Ken Kelly
CAO

ATTACHMENTS:

1. Site Plan
2. Elevation Drawings
3. Grading Plan
4. MVCA comments from Minor Variance application A-10-20