

THE CORPORATION OF THE MUNICIPALITY OF MISSISSIPPI MILLS

STAFF REPORT

DATE: April 6, 2021

TO: Committee of the Whole

FROM: Marc Rivet, MCIP, RPP, Acting Director of Planning

**SUBJECT: STAFF REPORT: ZONING BY-LAW AMENDMENT NO 21-XXX
Multiple Properties currently zoned E1-1
Almonte Ward, Municipality of Mississippi Mills**

KNOWN AS: "Mississippi Mills Business Park"

OWNER: Multiple landowners (municipal and private)

RECOMMENDATION:

THAT Committee of the Whole recommends that Council enacts and passes Zoning By-law Amendment No. 21-XXX being an amendment to change the zoning of the (proposed) subject property from “Business Park Special Exception” (E1-1) Zone to “Business Park Special Exception” (E1-X) Zone to permit a range of additional light industrial and commercial uses not currently permitted.

PURPOSE AND EFFECT

Staff are seeking Council’s approval of the proposed Zoning By-Law Amendment, which aims to add a range of new uses to the Mississippi Mills Business Park (Almonte) for economic development purposes.

The Subject Lands, as shown on Figure 1 below, are designated Business Park and zoned Business Park Special Exception 1 (E1-1). The lands are also located near a well head protection area (WHPA) with a vulnerability score (VScore) of 10 as per Schedule ‘D1’ of the Official Plan and are within a WHPA (VScore 6). In accordance with the policies of the Municipality of Mississippi Mills Community Official Plan, Staff discussed the proposed uses with the Mississippi Valley Conservation Authority (MVCA) and the Rideau Valley Conservation Authority (RVCA) in order to avoid conflicts with source water protection efforts.

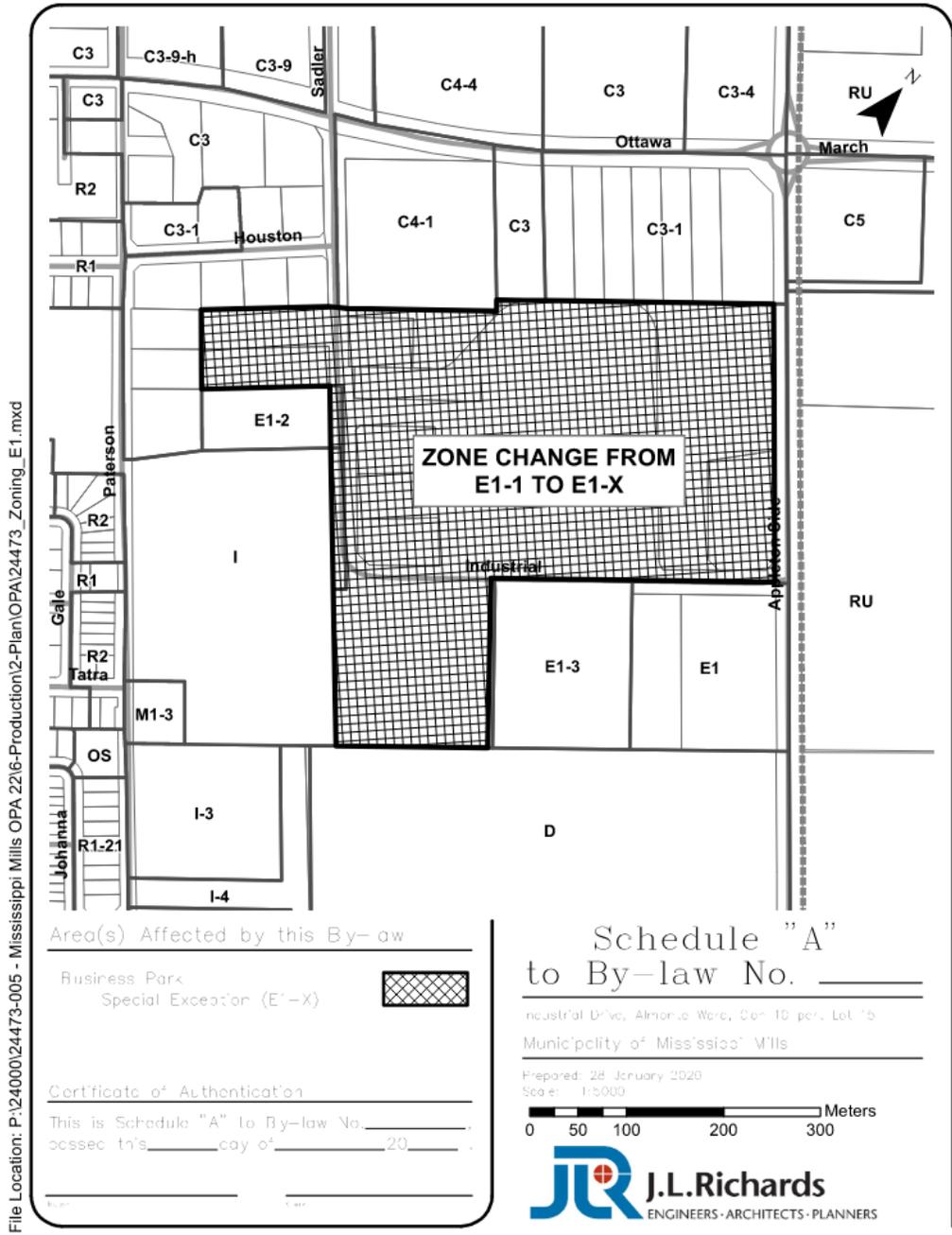


Figure 1: Proposed Zoning Schedule

The proposed Amendment includes a list of uses that should be added to the Business Park Zone based on these conversations. In accordance with source water protection policies, some of the proposed land uses may be prohibited if they store/handle quantities of more than 25 litres (L) of dense non aqueous phase liquids (DNAPLs). Therefore, the Zoning Exception will include a provision that prohibits uses that exceed this threshold.

The proposed Amendment conforms to the Sustainable Communities Official Plan (SCOP) and the Community Official Plan (COP). None of the proposed uses are incompatible with the Official Plan designation, or conflict with any other Official Plan policy, including those related to wellhead protection areas and source water protection policies. An Official Plan Amendment to the Municipality’s Official Plan is therefore not required.

DESCRIPTION OF SUBJECT PROPERTY

The Business Park is located near the northeast corner of the Almonte settlement area and can be easily accessed from Ottawa Street (County Road 49) and Appleton Side Road via Industrial Drive. The Business Park contains a range of municipally and privately-owned lands. **Figure 2** shows the approximate boundaries of the Mississippi Mills Business Park (Almonte).

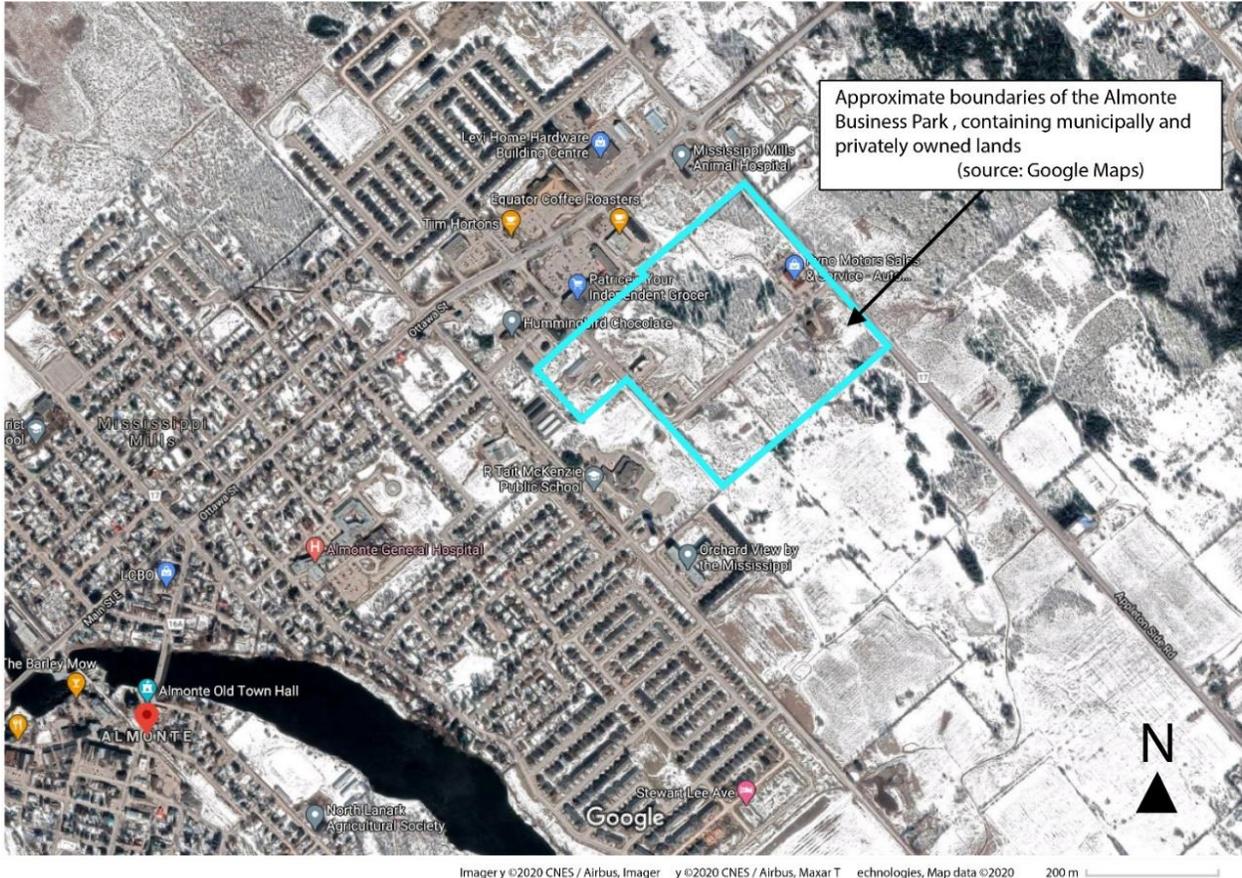


Figure 2: Business Park Location

SERVICING & INFRASTRUCTURE

No new development is proposed at this time. The municipal servicing and infrastructure demands are not anticipated to change as a result of this application and demand needs would need to be evaluated at the time of Site Plan Approval for individual development projects.

PROVINCIAL POLICY STATEMENT (PPS) 2020

Almonte is considered a Settlement Area in the context of the PPS 2020. Ontario's settlement areas vary significantly in terms of size, density, population, economic activity, diversity and intensity of land uses, service levels, and types of infrastructure available.

The following policies are relevant to the proposed Amendment:

1.1.1 Healthy, liveable and safe communities are sustained by:

a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;

1.1.3.1 Settlement areas shall be the focus of growth and development.

1.1.3.2 Land use patterns within settlement areas shall be based on densities and a mix of land uses which:

a) efficiently use land and resources;

b) are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;

The vitality and regeneration of settlement areas such as Almonte for the purposes of economic development is critical to the Province's long-term economic prosperity. The proposed Amendment would therefore conform to PPS 2020 settlement area policies.

LANARK COUNTY SUSTAINABLE COMMUNITIES OFFICIAL PLAN (COUNTY SCOP)

Almonte is also considered a Settlement Area in the context of Lanark County's Sustainable Community Official Plan (SCOP), where a range of light industrial and commercial uses are encouraged. Section 2.3.1(6) provides:

Local land use policies shall provide for mixed use development including residential, commercial, employment lands, parks and open space and institutional uses in areas designated as a settlement area in local Official Plans.

Section 2.6.1(5) (Objectives) states the objective for land use distribution, which is to:
“...provide for mixed use communities with appropriate commercial, institutional and employment uses.”

Also, Section 2.6.2.4 further states *“The implementation of this Official Plan through local Official Plans, zoning regulations, subdivision and condominium control and site plan control shall consider the following criteria:*

4. identify and zone an appropriate range of commercial, institutional and employment lands;”

Section 5.5.9 contains one policy for municipal source water protection and enhancement:

Areas in the County are identified as a Wellhead Protection Zone in the Source Protection Plan which is under development. Local Official plans should include mapping which identifies these areas and should refer to the Source protection Plan for information about applicable policy.

The proposed Amendment conforms to the policies of the SCOP.

MUNICIPALITY OF MISSISSIPPI MILLS’ COMMUNITY OFFICIAL PLAN (COP)

The subject lands are designated Business Park – Employment Area, as per Schedule ‘B’ of the Official Plan.

Figure 3 shows the extent of the Official Plan’s Business Park land use designation, as well as the approximate location of the lands owned by the Municipality of Mississippi Mills.

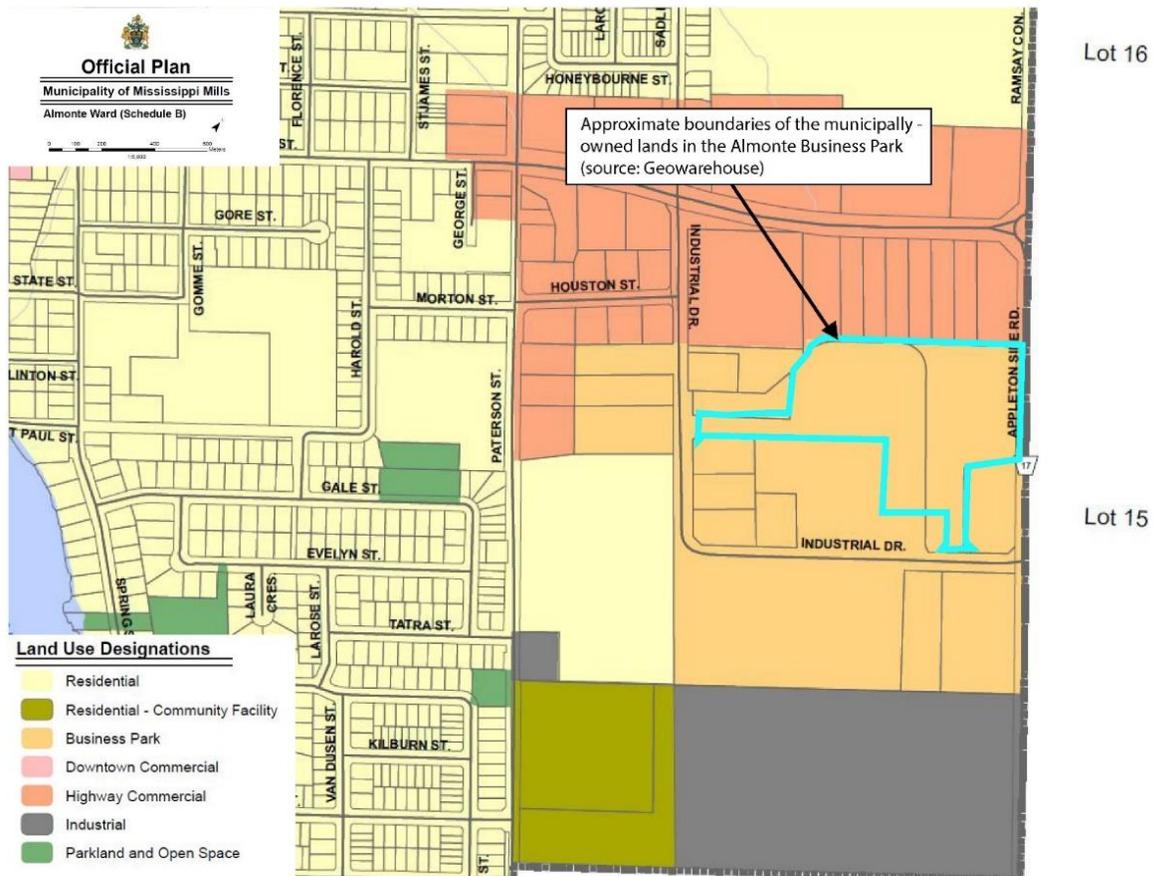


Figure 3: Official Plan Designation & Location of Municipally-owned lands

Purpose of the Business Park – Employment Area (Section 3.7.4):

The “Business Park – Employment Area” land use designation applies to lands on the east side of Almonte, south of County Road 49. Lands designated Business Park – Employment Area are planned to function as a major employment centre within the Town Municipality. The development policies are intended to promote high quality and consistent development standards for the Mississippi Mills Business Park – Employment Area.

Section 3.7.4.1 of the Official Plan contains the permitted uses in the Business Park designation. The proposed Zoning By-Law Amendment will allow for uses that are permitted within the Business Park designation.

A portion of the Business Park designated lands is located within the one-kilometer buffer of Abandoned Mine, as per Appendix A2, which contains ‘Constraints’. This should not have any impacts on the proposed uses listed in this memo.

There are also known Wellhead Protection Areas within range of the Business Park, as per Schedule D1 of the Official Plan (See **Figure 4**). Wellhead Protection Areas are areas where certain activities have the potential to adversely affect the groundwater that supplies a municipal well. Section 3.1.8 of the Municipality's COP provides the goals and policies that aim to protect vulnerable areas within the municipal boundaries.

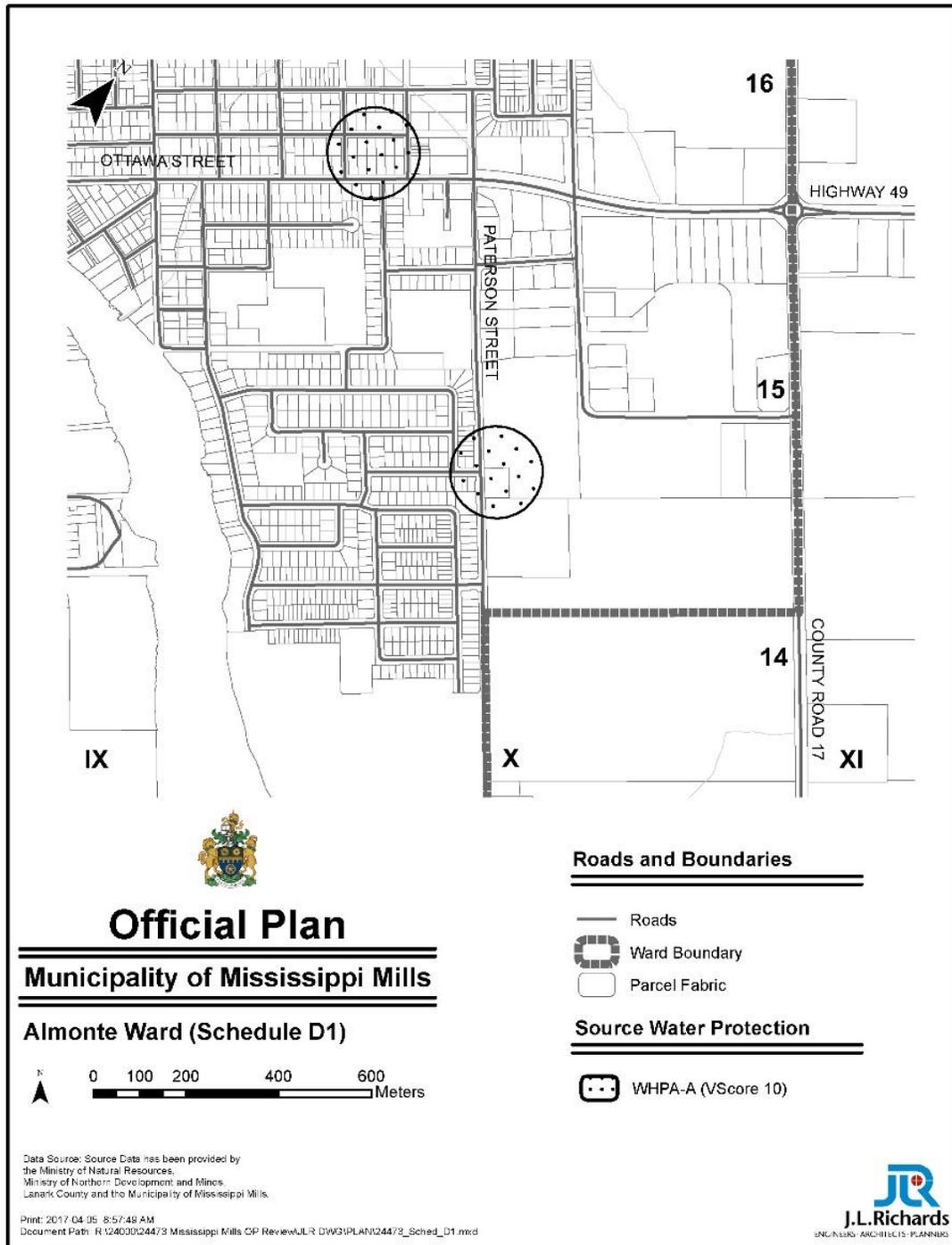


Figure 4: Schedule D1 – Wellhead Protection Areas

In accordance with Section 3.1.8.2, Staff discussed the proposed list of uses with the Source Water Protection specialists at the conservation authorities. It was discussed that some of the proposed land uses may be prohibited if they store/handle quantities of more than 25l of dense non aqueous phase liquids (DNAPLs). Examples of this could include, dry cleaning facilities or some uses under technology industry. Retail facilities who store/handle quantities above 25L are not prohibited, there is a retail exemption in the DNAPL policy.

The proposed Amendment will conform to the general intent of the COP and its policies, including those prescribed for the Business Park designation and Wellhead Protection (vulnerable) areas.

MUNICIPALITY OF MISSISSIPPI MILLS' ZONING BY-LAW #11-83

The lands found within the Business Park are zoned differently, as shown on **Figure 5**. All lands within the Business Park share the parent zoning of the Business Park (E1) Zone.

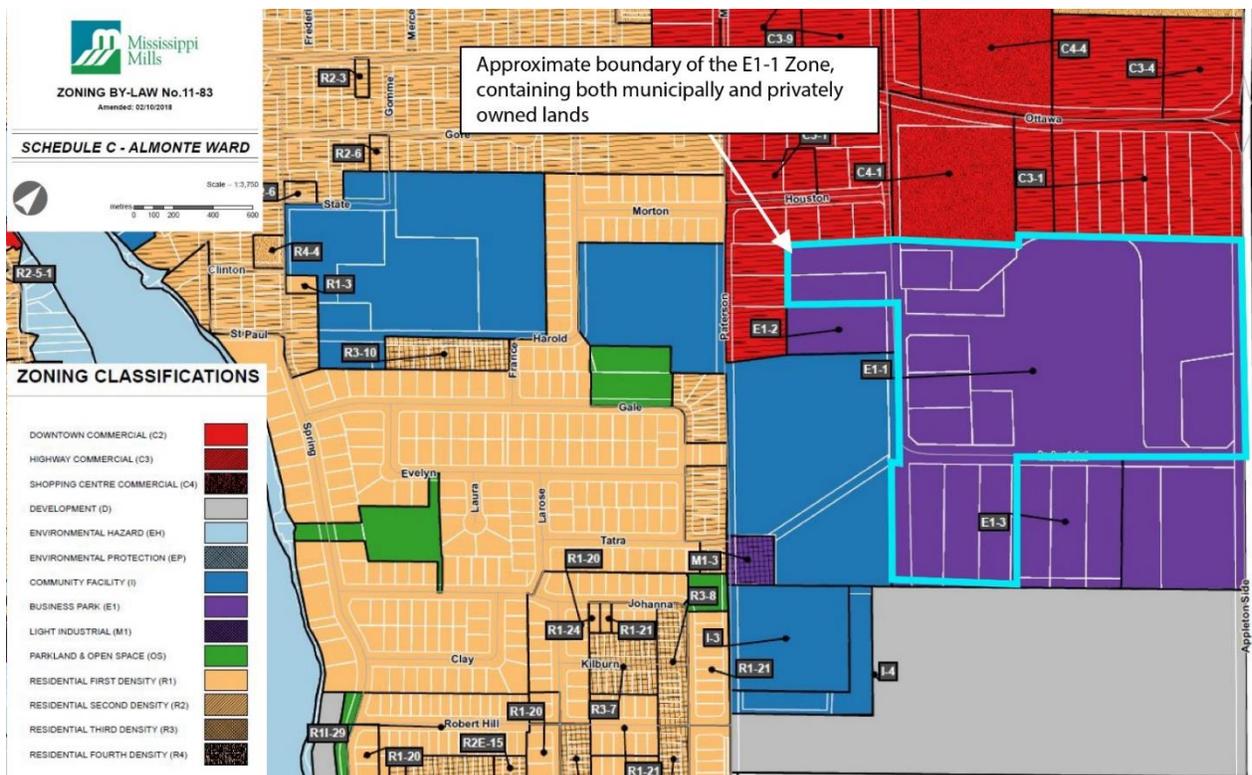


Figure 5: Zoning Schedule C – Business Park Zones

The current E1-1 Zoning permits a limited range of uses. The following uses are permitted on the lands zoned E1-1 [Section 27.3.1(2)]:

- business offices
- communication and information establishments
- computer, electronic or data processing establishments
- drive-through facility
- education and training facilities
- factory outlets
- home furnishing retail
- hotel
- light industrial uses
- lodging facilities
- medical facility
- motel
- equipment rental outlet
- repair and service establishment
- research and development centre
- restaurants
- retail stores
- training centre
- warehousing
- wholesale outlets
- wholesaling and distribution centre
- medical facility
- showroom
- equipment rental outlet
- garden centre
- education or training facilities
- research and development facilities
- computer, electronic or data processing establishments
- scientific or technological establishment
- communication and information establishment
- business and government services
- public use
- parking lot

As per Section 27.3.1(1) of the Zoning By-Law, the following uses shall not be permitted on the lands zoned E1-1:

- an open storage area
- residential uses, and

- commercial storage

PROPOSED ZONING BY-LAW AMENDMENT

The proposed Amendment (Appendix A) is to rezone Almonte Business Park from “Business Park Special Exception (E1-1)” to “Business Park Special Exception (E1-X)” in order permit a range of additional light industrial and commercial uses not currently permitted.

The proposed Amendment will

- keep the Residential Use as the only prohibited use;
- retain all uses permitted by the parent zone, as well as additional uses currently permitted by the E1-1 Zone; and
- prohibit all uses permitted herein that exceed the threshold of 25L of dense non aqueous phase liquids (DNAPLs) unless otherwise exempted by the applicable source water protection policies; and
- add the following uses to the E1-X Zone:
 - automobile body shop
 - automobile car wash
 - automobile care
 - automobile dealership
 - automobile rental establishment
 - building supply outlet
 - bulk sales establishment
 - Commercial storage
 - contractor’s or trade establishment
 - custom workshop
 - dry cleaning establishment
 - office
 - post office
 - printing establishment
 - recreational vehicle sales
 - service and repair shop
 - taxi station
 - technology industry

While Staff do not anticipate that location within the WHPA-6 should generate any significant impacts on the proposed uses listed at the end of this memo, developers and potential businesses should be made aware of the policy restrictions associated with dense non aqueous phase liquids (DNAPLs).

As such, Staff will also make it a standard condition at the time of Site Plan Approval that no use proposed in the business park area exceed the threshold of 25L of dense non aqueous phase liquids (DNAPLs) unless exempted by applicable source water protection policies. Most retail facilities would be exempt from this standard condition.

The proposed Amendment conforms to the Sustainable Communities Official Plan (SCOP) and the Community Official Plan (COP). None of the proposed uses are incompatible with the Official Plan designation, or conflict with any other Official Plan policy, including those related to wellhead protection areas and source water protection policies. An Official Plan Amendment to the Municipality's Official Plan is therefore not required.

CIRCULATION COMMENTS:

The applications are also being circulated to municipal staff and the list of prescribed bodies and persons in accordance with the Planning Act. There are no additional comments from Staff.

PUBLIC COMMENTS RECEIVED:

Staff circulated the application in accordance with the provisions of the Planning Act. The Planning Act prescribes that notice be placed on site and mailed to all property owners within 120m of the subject lands. Only one (1) Public Comment was received (See **Appendix B** to this Report).

All of which is respectfully submitted,



Marc Rivet, MCIP, RPP
Acting Director of Planning



Ken Kelly
Chief Administrative Officer

APPENDIX A – ZONING BY-LAW AMENDMENT

ZONING BY-LAW AMENDMENT
No. Z-03-21
Almonte Business Park

Prepared for:

MUNICIPALITY OF MISSISSIPPI MILLS

March 29, 2021

J.L. RICHARDS & ASSOCIATES LIMITED
Engineers • Architects • Planners
1565 Carling Avenue, Suite 700
Ottawa, Ontario
K1Z 8R1

JLR 24473

EXPLANATORY NOTE

The purpose of the proposed Zoning By-law Amendment is to rezone the Almonte Business Park from “Business Park Special Exception (E1-1)” to “Business Park Special Exception (E1-X)” in order permit a range of additional light industrial and commercial uses currently not permitted.

This Amendment affects lands within the Almonte Business Park as shown on Schedule A.

THE MUNICIPALITY OF MISSISSIPPI MILLS

By-law No. 21-XX

BEING a By-law to Amend Zoning By-law No.11-83

WHEREAS By-law No.11-83 regulates the use of land and the use and erection of buildings and structures within the Municipality of Mississippi Mills;

AND WHEREAS the Council of the Municipality of Mississippi Mills deems it advisable to amend By-law No. 11-83 as hereinafter set forth;

NOW THEREFORE the Council of the Municipality of Mississippi Mills enacts as follows:

1. The properties affected by this By-law includes all lands within the Almonte Business Park (shaded tone), as shown on “Schedule A” attached hereto.
2. The area shown on Schedule “A” to this By-law shall henceforth be zoned E1-X.
3. Section By-law No. 11-83 is hereby amended by adding the following after Section 27.3:

“Notwithstanding the ‘E1’ zoning designation, on those lands delineated as ‘E1-X’:

- 1) The provisions of the ‘E1-1’ Zone shall apply.
- 2) The following uses shall also be permitted provided that they do not store/handle quantities of more than threshold of 25 Litres (L) of of dense non aqueous phase liquids (DNAPLs), or are exempted by the applicable source water protection policies:
 - automobile body shop
 - automobile car wash
 - automobile care
 - automobile dealership
 - automobile rental establishment
 - building supply outlet
 - bulk sales establishment
 - Commercial storage
 - contractor’s or trade establishment
 - custom workshop
 - dry cleaning establishment

- office
- post office
- printing establishment
- recreational vehicle sales
- service and repair shop
- taxi station
- technology industry.”

This By-law shall come into full force and effect in accordance with the *Planning Act*, R.S.O. 1990.

READ a first and second time this ____ day of _____, 2021.

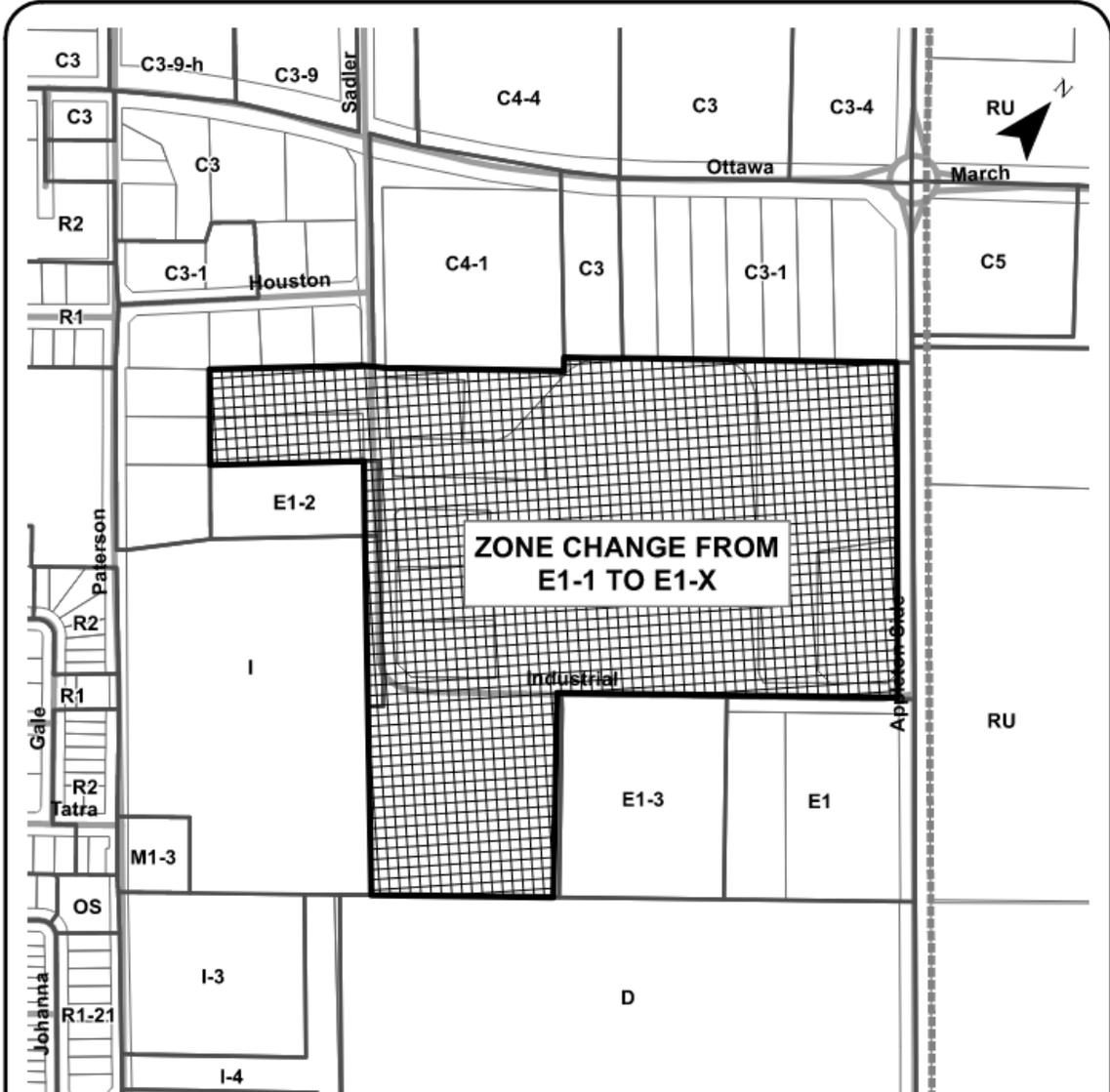
READ a third time and finally passed this ____ day of _____, 2021.

Mayor Christa Lowry

Acting Clerk Cynthia Moyle

SCHEDULE 'A'

File Location: P:\24000\24473-005 - Mississippi Mills OPA 22\6-Production\2-Plan\OPA\24473_Zoning_E1.mxd



Area(s) Affected by this By-law

Business Park
Special Exception (E1-X)

Certificate of Authentication

This is Schedule "A" to By-law No. _____,
passed this _____ day of _____, 20____.

Schedule "A"
to By-law No. _____

Industrial Drive, Almonte Works, 10 per. Lot 15
Municipality of Mississippi Mills

Prepared: 28 January 2020
Scale: 1:5000



Plot Date: Thursday, January 28, 2021 7:20:57 AM

APPENDIX B – Public Comments

From: Maggie Yet
Sent: March 3, 2021 9:13 AM
To: 'Chris Norton' [REDACTED]
Subject: RE: Prposed E1-X

Hi Chris,

I have attached a previous memo provided to Council for reference. Please note the memo is for information purposes only and that the final list of permitted uses may change based on a complete analysis of all applicable policies and regulations.

If you have any further questions or comments, please do not hesitate to contact me.

Sincerely,

Maggie Yet
Planner 1
Municipality of Mississippi Mills
3131 Old Perth Road, P.O. Box 400
Almonte, ON, K0A 1A0
P: (613) 256-2064 ext. 206
F: (613) 256-4887



From: Chris Norton [REDACTED]
Sent: March 3, 2021 8:53 AM
To: Maggie Yet <myet@mississippimills.ca>
Subject: Prposed E1-X

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning

Could you please provide information as to what the 'additional light industrial and commercial uses not currently permitted' would be.

Thank you

C

Christopher Norton [REDACTED]

No other public comments were submitted.