

THE CORPORATION OF THE MUNICIPALITY OF MISSISSIPPI MILLS

STAFF REPORT

DATE: April 6, 2021

TO: Committee of the Whole

FROM: Maggie Yet, Planner 1

SUBJECT: 143 Marshall Street – Lifting of Holding Zone and Site Plan Control
Lot 11 and 12, Plan 6262
Almonte Ward, Municipality of Mississippi Mills

KNOWN AS: 143 Marshall Street

OWNER: 2672445 Ontario Inc. (Agent: Debra Belfie)

RECOMMENDATION:

THAT Council approve the lifting of the holding (h) symbol from the “Residential Third Density – Special Exception 15 Holding” (R3-15h) Zone for the lands legally described as Lot 11 and 12, Plan 6262, Almonte Ward, Municipality of Mississippi Mills, municipally known as 143 Marshall Street;

THAT Council approve the site plans for the property known municipally as 143 Marshall Street;

AND THAT the Mayor and Clerk be authorized to enter into a Site Plan Control Agreement for the proposed works.

PURPOSE AND EFFECT

The applicant, Debbie Belfie has applied for the following for the lands municipally known as 143 Marshall Street in Almonte Ward:

- 1) To remove the Holding (h) symbol from the “Residential Third Density – Special Exception 15 Holding” (R3-15h) Zone on the subject lands, previously approved by Council by By-law No. 20-067 (Zoning Amendment application no. **Z-04-21**); and
- 2) Site Plan Control for the development of five (5) townhouse dwelling units (Site Plan Control file no. **D11-267-20**).

BACKGROUND

The proposed townhouse development is subject to the provisions of the R3-15 Zone. Council approved the Zoning Amendment on August 25, 2020 with a holding symbol.

The R3-15 Zone permits the following site specific provisions for the development of five (5) townhouse units:

- (1) the minimum lot area is 160m²;*
- (2) the minimum exterior side yard setback is 3m;*
- (3) the minimum rear yard setback is 6m;*
- (4) the maximum lot coverage of 65%; and*
- (5) the maximum net density is 55 units per ha.*

A Holding provision was applied to the lands given the concerns from the public and Council around the stormwater management for the area. The Holding provision required the following:

The holding provision (h) shall prohibit development on the subject lands until such time as the applicant has demonstrated the following:

- (1) The completion of a Stormwater Management Plan to the satisfaction of the Municipality of Mississippi Mills and the Mississippi Valley Conservation Authority.”*

Following the submission of a Servicing Memo in which water, sewer and stormwater management was reviewed for the site, a revised memo dated November 10th, 2020 was provided to the Municipality and circulated to the Mississippi Valley Conservation Authority (MVCA) for review. Staff and MVCA were satisfied with the findings of the revised memo for the proposed development. As such, the applicant has now applied to remove the holding symbol from the zoning for the subject lands.

The Servicing Memo was submitted concurrently as part of a Site Plan Control application for the subject development. Staff have no further concerns regarding the plans for the proposed development.

LOCATION AND DESCRIPTION OF SUBJECT LANDS

The subject lands are located at the southeast corner at the intersection of Marshall Street and Adelaide Street. The lands represent an approximate area of 1,011.2m² (10,884.4ft²). Frontage on Adelaide Street is approximately 33.1m and frontage on Marshall Street is 30.55m. Figure 1 illustrates the location of the subject property within the Municipality.

Adjacent lands uses are residential, with low density single detached dwellings immediately adjacent and across the streets, and medium density townhomes on Finner Court back onto the property.

The development proposal will still require Part Lot Control to divide the properties into freehold units, subject to Council approval.

Comments received based on the circulation of this application have been summarized below:

CAO: No comments received.

Chief Building Official: The Building Department has no objections.

Fire Chief: No objections.

EXTERNAL CIRCULATION

Enbridge: Enbridge Gas Inc. does not object to the proposed application however, we reserve the right to amend our development conditions.

COMMUNITY OFFICIAL PLAN (COP)

The subject lands are designated “Residential” in the Community Official Plan, which aims to direct development to provide for a broad range of housing options in terms of housing types and rental opportunities. The goal of the residential land use policies is to

“promote a balanced supply of housing to meet the present and future social and economic needs of all segments of the community” (Policy 3.6.1). The proposed development would meet the following objectives of Policy 3.6.1:

Objectives

1. *Promote and support development which provides for affordable, rental, and/or increased density of housing types.*
4. *Direct the majority of new residential development to areas where municipal sewer and water services are/will be available and which can support new development.*

Generally, “Residential” lands shall be used for low and medium density uses and accessory uses (Policy 3.6.2). The proposed development has obtained relief from the maximum net density from 35 units per net ha to 55 units per ha, which is similar to the density of the townhomes on Finner Court.

The development additionally will contribute to the Municipality’s overall affordable housing supply. Affordable Housing can be generated through the establishment of a diverse housing base at mixed densities and housing types. Generally, dwelling units offered at a medium or high density can be offered at a more affordable price point as the cost to develop the land is less than lower density forms of development.

Range of housing provisions also encourage the adherence of a 70:30 housing tenure target (Policy 3.6.5). The proposed development assists in meeting the 30% rental housing stock as all 5 of the townhome units are proposed to be rented.

The proposal also fulfills the Official Plans objective to prioritize infill of existing residential areas as a means of efficiently meeting housing demand (Policy 3.6.7). Generally, infill development should be in character with the surrounding buildings form and setbacks of existing development in an effort to blend in with the residential neighbourhood and will be subject to site plan control.

The proposed development will include a two-storey row of townhomes. The neighbourhood is largely representative of large lots constructed with small pre-war dwellings or infill 1960’s raised ranch dwellings. However in recent years significant infill has been approved through the construction of the bungalow townhomes on Finner and semi-detached dwellings on Napier. Older dwellings are typically constructed close to front lot lines with side yard parking, while the post war dwellings typically meet modern 6m+ front yard setbacks and tighter side yards. The proposed construction meets the general massing of infill development in the neighbourhood.

COMPREHENSIVE ZONING BY-LAW #11-83

The subject property is presently zoned “Residential Third Density – Special Exception 15 Holding” (R3-15h) by the Municipality’s Zoning By-law. The following table outlines the development standards of the R3-15h Zone and the specifications of the proposed development:

Provisions	Townhouse, Dwelling Unit	Proposed Development
Lot Area, Minimum (m2)	168*	167
Lot Frontage, Minimum (m)	5.5	5.5
Front Yard, Minimum (m)	6	6
Rear Yard, Minimum (m)	7.5	6*
Side Yard, Minimum (m)	0 (joined units) 1.2m (end unit)	0 1.57
Exterior Side Yard, Minimum (m)	6	3*
Maximum Height (m)	11	8.8
Lot Coverage, Maximum (%)	55	61
Dwelling Unit Area, Minimum (m²)	46 + 9.5m per bedroom	176

*Note ** *The applicant has obtained relief from the provision through Zoning Amendment application Z-02-20.*

Servicing and Grading

The proposed townhouse dwellings are to be serviced by municipal water and sanitary services. A Servicing Memo has been submitted for the development with a review of water, sanitary and stormwater management. MVCA and the Acting Director of Roads and Public Works are satisfied with the submission. The Acting Director has commented that the proponent has had the servicing, grading and drainage for the development designed by a professional Engineer. This work has been peer reviewed by an independent engineer on behalf of the Municipality. The servicing for water and sewer will be achieved with new service connections to Adelaide Street. The design for the grading and drainage has incorporated engineered water management system, including a weir and water retention area to slow the release of water from the property and ensure the rate of release does not exceed pre-development levels.

The stormwater works will be privately owned and not the responsibility of the Municipality. A condition of the site plan agreement would require an agreement on title requiring regular maintenance of the stormwater management works by the owner(s). The applicant has advised this is agreeable with the owner. The applicant has subsequently met the condition to lift the holding provision from the R3-15h Zone.

Landscaping

Currently, the existing property is vacant. Existing trees and vegetation is expected to be removed for the development. Eleven new trees are proposed for the development in accordance with the Municipality's Tree Planting Guidelines. The subject development will occupy a total lot coverage of 61% and the remainder of the lands is expected to be landscaped amenity area. Driveways are paired and made of asphalt with interlock pavers leading to the front entrance.

Building Configuration/Façade

The elevation drawings depicts two-storey dwelling units with a building façade composed of brick veneer and asphalt shingles for the roof. Vinyl siding is proposed for the remainder of the structure as depicted in the left, right and rear elevations. A one-

car attached garage is accessible from Adelaide Street through paired driveways with additional space on the driveway to park a second vehicle. Rear yard access is available through an access easement.

Parking

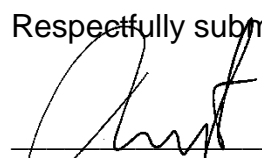
One (1) parking space is required per unit in addition to 0.2 spaces per unit. The proposed development will have a total of ten (10) parking spaces which exceeds the minimum parking space requirements of the Zoning By-law.

CONCLUSION

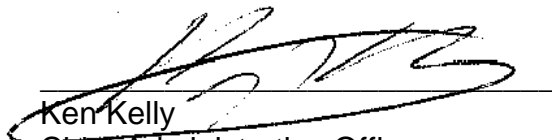
The applicant has submitted a stormwater management plan to the satisfaction of the Municipality's Public Works Department and MVCA and has thus satisfied the requirement to lift the holding (h) symbol from the R3-15h Zone. The application has previously been reviewed for compliance with the provisions of the Provincial Policy Statement 2020, conformity with the Community Official Plan and the applicable sections of the Zoning By-law as part of the Zoning Amendment application Z-02-20. As such, Staff recommends that Council approve the lifting of the holding provision from the R3-15h Zone for the subject lands.

Additionally, the proposed Site Plan Control application satisfies the provisions of the Zoning By-law and is consistent with the relevant planning policies of the Community Official Plan. Therefore, Staff recommends the approval of the application for the proposed townhouse development subject to the execution of a Site Plan Agreement.

Respectfully submitted,



Maggie Yet MPLAN BA
Planner 1



Ken Kelly
Chief Administrative Officer

ATTACHMENTS:

1. Servicing Memo (November 28th, 2019 revised November 10th, 2020), McIntosh Perry
2. Lot Grading, Drainage, Servicing and Sediment & Erosion Control Plan
3. Site and Landscape Plan
4. Elevations – Front, Left Side, Rear and Right Side
5. Public Comments